

SITE DATA TABULATION

OWNER: CARMAX OF WILMINGTON
 PROJECT ADDRESS: 6030 MARKET STREET WILMINGTON, NC 28403
 TAX PARCEL IDENTIFICATION #: R05000-002-010-000 (13.83 AC) - LOT 1 R05000-002-004-001 (1.20 AC) - LOT 2 BK 2664, PG 331 (ESMT) - LOT 1 BK 1783, PG 1251 - LOT 1 BK 2664, PG 324 (ESMT) - LOT 2 BK 1425, PG 1328 - LOT 2
 RECORDED DEED BOOK: 15.038 ACRES (655,055 SF)
 CURRENT ZONING: RB - REGIONAL BUSINESS URBAN
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'
 EXISTING LAND USE: UNDEVELOPED
 PROPOSED LAND USE: AUTOMOBILE DEALER - USED

SETBACK STANDARDS

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	150.5 FT. (NORTH)	25 FT.
MINIMUM SIDE SETBACK	254.5 FT. (EAST)	0 FT.
MINIMUM SIDE SETBACK	125.7 FT. (WEST)	0 FT.
MINIMUM REAR SETBACK	661.5 FT. (SOUTH)	25 FT.

SITE INFORMATION

LOT AREA	654,490 SF (15.03 AC)	43,560 SF (1 AC)
LOT WIDTH	602.47'	100' MIN.
LOT COVERAGE	6.29%	40% MAX.

PROPOSED IMPERVIOUS AREA

TOTAL BUILDING (PROPOSED FOOTPRINT)	41,583 SF
ON-SITE PARKING & DRIVEWAYS	384,900 SF
GRAVEL DRIVE	4,350 SF
ON-SITE SIDEWALKS	4,900 SF
FUTURE IMPERVIOUS	4,287 SF
TOTAL PROPOSED IMP. AREA	440,000 SF (10.10 AC)

PROPOSED PERCENT IMPERVIOUS: 440,000 / 654,480 SF = 67.2%

BUILDING INFORMATION

CONSTRUCTION TYPE	1B
NUMBER OF PROPOSED BUILDINGS	1
PROPOSED BUILDING SF	41,583 SF

OVERALL HEIGHT: 28'-0"
 LOT COVERAGE: 6.35% (PROPOSED)

SITE PARKING

MINIMUM PARKING REQUIRED: (1 PER 500 SF GFA)	83
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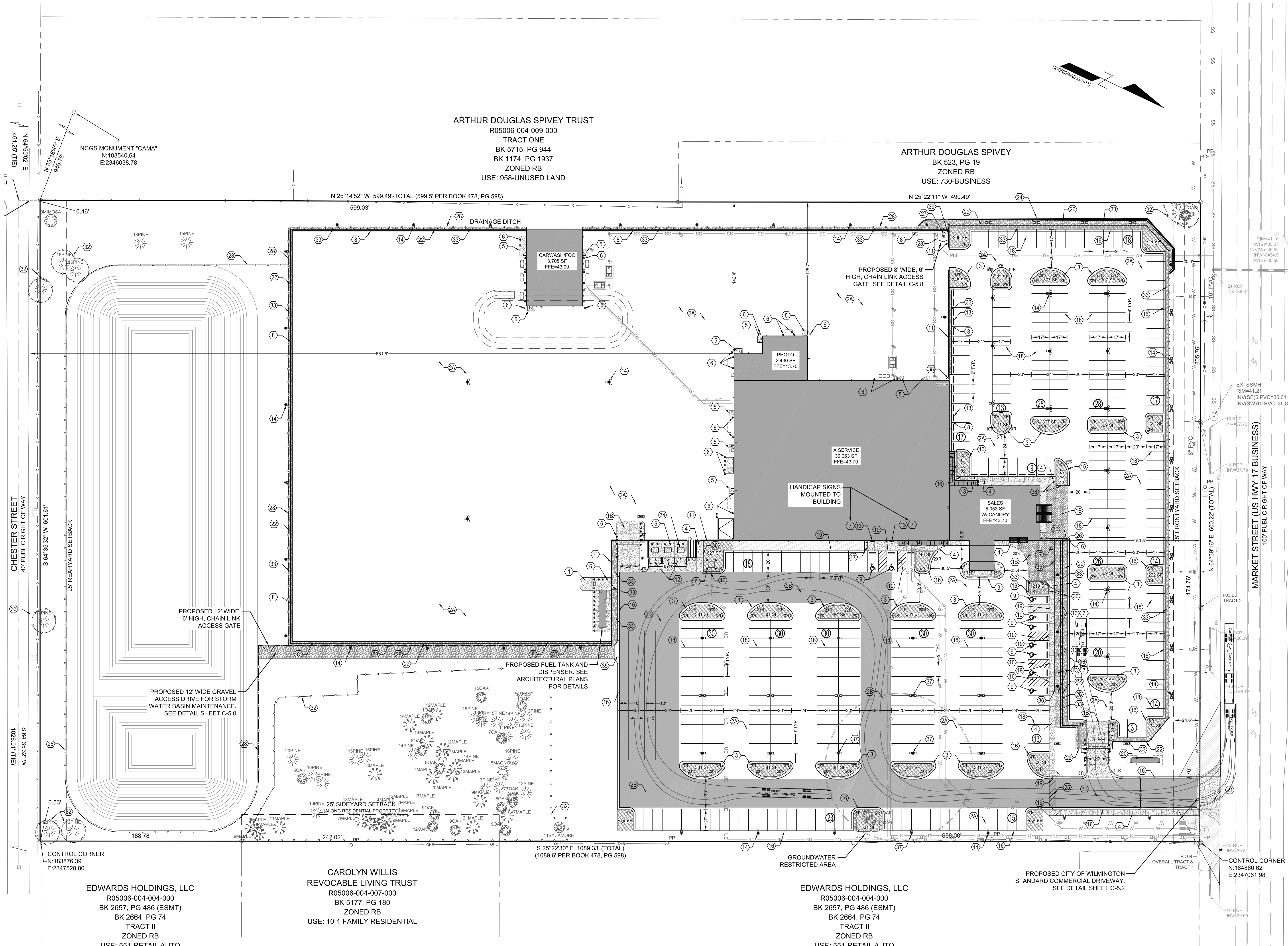
MAXIMUM PARKING ALLOWABLE: 125 SPACES
 TOTAL PARKING PROVIDED: 125 CUSTOMER/EMPLOYEE PARKING SPACES, 298 SALES DISPLAY/INVENTORY AREA SPACES

HANDICAP PARKING REQUIRED: 9 SPACES
 HANDICAP PARKING PROVIDED: 9 SPACES

BICYCLE PARKING REQUIRED: 15 SPACES
 BICYCLE PARKING PROVIDED: 15 SPACES

FLOOD NOTE
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.

- GENERAL NOTES**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.



ARTHUR DOUGLAS SPIVEY TRUST
 R05006-004-009-000
 TRACT ONE
 BK 5715, PG 944
 BK 1174, PG 1937
 ZONED RB
 USE: 958-UNUSED LAND

ARTHUR DOUGLAS SPIVEY
 BK 523, PG 19
 ZONED RB
 USE: 730-BUSINESS

CAROLYN WILLIS REVOCABLE LIVING TRUST
 R05006-004-007-000
 BK 5177, PG 180
 ZONED RB
 USE: 10-1 FAMILY RESIDENTIAL

EDWARDS HOLDINGS, LLC
 R05006-004-004-000
 BK 2657, PG 486 (ESMT)
 BK 2664, PG 74
 TRACT II
 ZONED RB
 USE: 551-RETAIL AUTO

EDWARDS HOLDINGS, LLC
 R05006-004-004-000
 BK 2657, PG 486 (ESMT)
 BK 2664, PG 74
 TRACT II
 ZONED RB
 USE: 551-RETAIL AUTO

KEY NOTES:

- | | | | | |
|---|---|--|---|--|
| 1A LIGHT-DUTY CONCRETE PAVING: REFER TO DETAIL C-5.0 | 10 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. | 17 BICYCLE RACK (6 BIKE MIN. PER RACK): SEE ARCHITECTURAL PLANS | 25 DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE. | 33 RIVER ROCK STONE STONE: REFER TO L-1.0 LANDSCAPE PLAN |
| 1B HEAVY-DUTY CONCRETE PAVING: REFER TO DETAIL C-5.0 | 11 MASONRY SITE WALL: SEE ARCH. & STRUCTURAL DRAWINGS | 18 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN, USE HIGHWAY MARKING PAINT - WHITE (2 COATS). | 26 ORNAMENTAL FENCING: REFER TO DETAIL C-5.0 | 34 PROPOSED DUMPSTERS & ENCLOSURE: REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS |
| 2A LIGHT DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0 | 12 SCREEN WALL GATES: REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS | 19 DETECTIBLE WARNING MAT: REFER TO DETAIL C-5.0 | 27 DUPLEX GRINDER PUMP STATION: REFER TO DETAIL C-5.8 AND ELECTRICAL DRAWINGS | 35 CONCRETE DRIVE APRON (RESIDENTIAL): REFER TO DETAIL C-5.0 |
| 2B HEAVY DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0 | 13 CONCRETE BUMPER BLOCK: 8" x 5" x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-8" LONG #4 REBAR. REFER TO DETAIL C-5.0 | 20 PYLON SIGN: SEE CIVIL COORDINATE PLAN C-2.4, A1.2, & STRUCTURAL DRAWINGS | 28 6" CHAINLINK FENCE (BLACK) W/ VISION SLATS: SEE DETAIL C-5.8 | 36 TRANSITION CURB DETAIL: REFER TO DETAIL C-5.0 |
| 3 MOUNTABLE CONCRETE CURB & GUTTER: REFER TO DETAIL C-5.0 | 14 PARKING LOT SITE LIGHTING: REFER TO C-2.4 FOR COORDINATE PLAN AND STRUCTURAL AND ELECTRICAL FOR TYP. DETAILS | 21 CONCRETE DRIVE APRON (COMMERCIAL): REFER TO DETAIL C-5.2 | 29 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL: REFER TO DETAIL C-5.0 | 37 PARKING LOT SITE LIGHTING W/ SPREAD FOOTING: REFER TO C-2.4 FOR COORDINATE PLAN AND DETAIL A, SHEET S6.2 STRUCTURAL AND ELECTRICAL FOR TYP. DETAILS |
| 4 CONCRETE SIDEWALK: REFER TO DETAIL C-5.0 | 15 LIMITS OF NEW PAVING: IN NEW PARKING AND DRIVE AREA NOT DESIGNATED AS HEAVY DUTY | 22 METAL GUARD RAIL: REFER TO DETAIL C-5.0 | 30 EMERGENCY VEHICLE LANE MARKING: NOT APPLICABLE | 38 MAN GATE: SEE ARCHITECTURAL DRAWINGS FOR DETAILS |
| 5 CONCRETE DOOR LANDING: SEE ARCHITECTURAL | 16 STANDARD 24" CURB & GUTTER: REFER TO DETAIL C-5.0 | 23 CONCRETE FLUME: NOT APPLICABLE | 31 HEADER CURB: REFER TO DETAIL C-5.0 | 39 PUMP STATION CONTROL PANEL: REFER TO DETAIL C-5.8 AND ELECTRICAL DRAWINGS |
| 6 STEEL BOLLARD: REFER TO ARCHITECTURAL DRAWINGS | | 24 SEGMENTAL RETAINING WALL: SEE ARCHITECTURAL PLAN A1.2 FOR DETAIL AND TECHNICAL SPECIFICATIONS SECTION 02830 | 32 TREE PROTECTION FENCING: REFER TO DETAIL C-2.3 | |

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

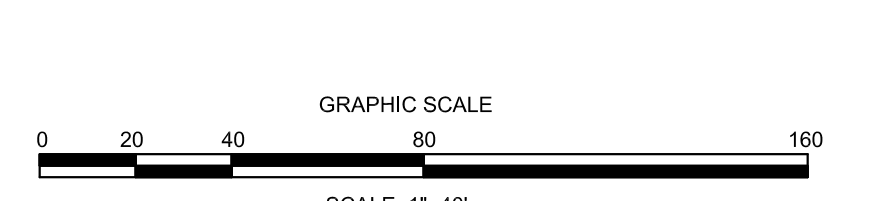
Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

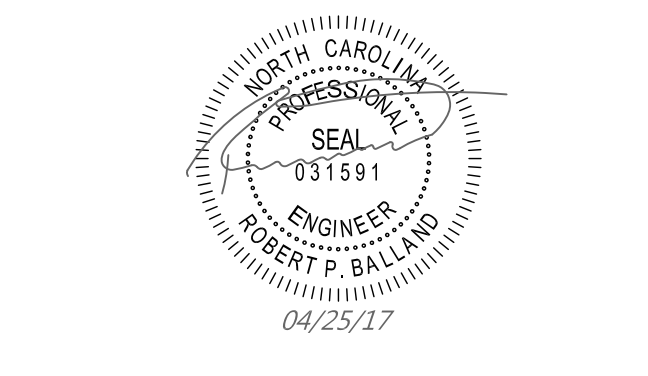
811
 Know what's below. Call before you dig.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



PARAMOUNT ENGINEERING
 122 Linnea Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6700 (F)
 NC License #: C-2846

**SFS/ A
 SVC/ FQC
 100%
 DISTRIBUTION**



RELEASED FOR CONSTRUCTION

LATEST DA/PC: DA17-004/PC17-006

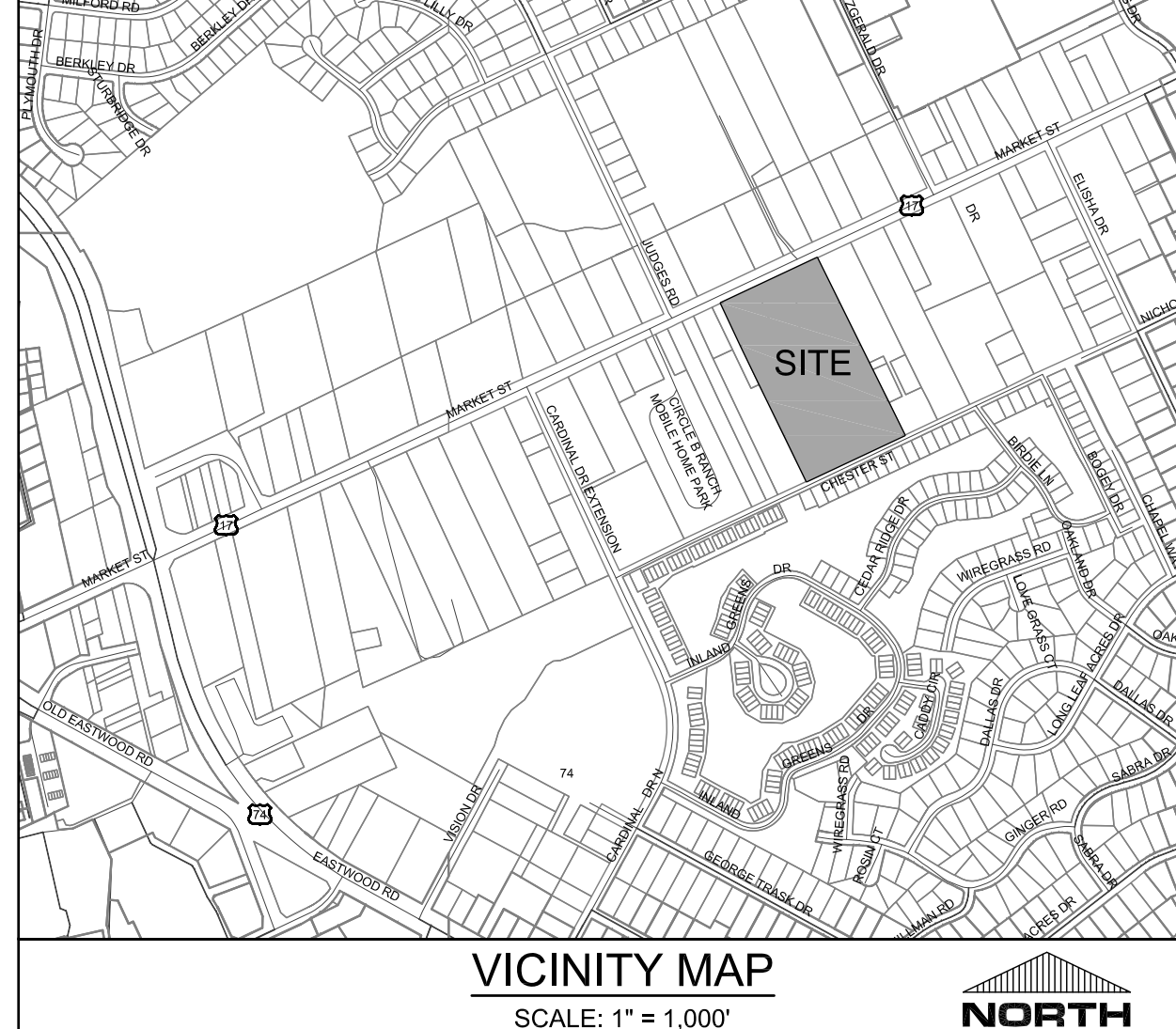
DRAWN BY: RPB

CHECKED BY: RPB

REV#	DATE	DESCRIPTION	BY
07	MAR 17	CHECKPOINT #1	
11	APR 17	CHECKPOINT #2	
25	APR 17	100% DISTRIBUTION	

CARMAX
 THE AUTO SUPERSTORE
 STORE NUMBER 6022
 6030 MARKET STREET
 WILMINGTON, NC 28405

PROJECT NO.: 20-15081.02
 DATE: 25 APR 17
 SHEET TITLE: SITE LAYOUT
 SHEET NO.: C-2.1

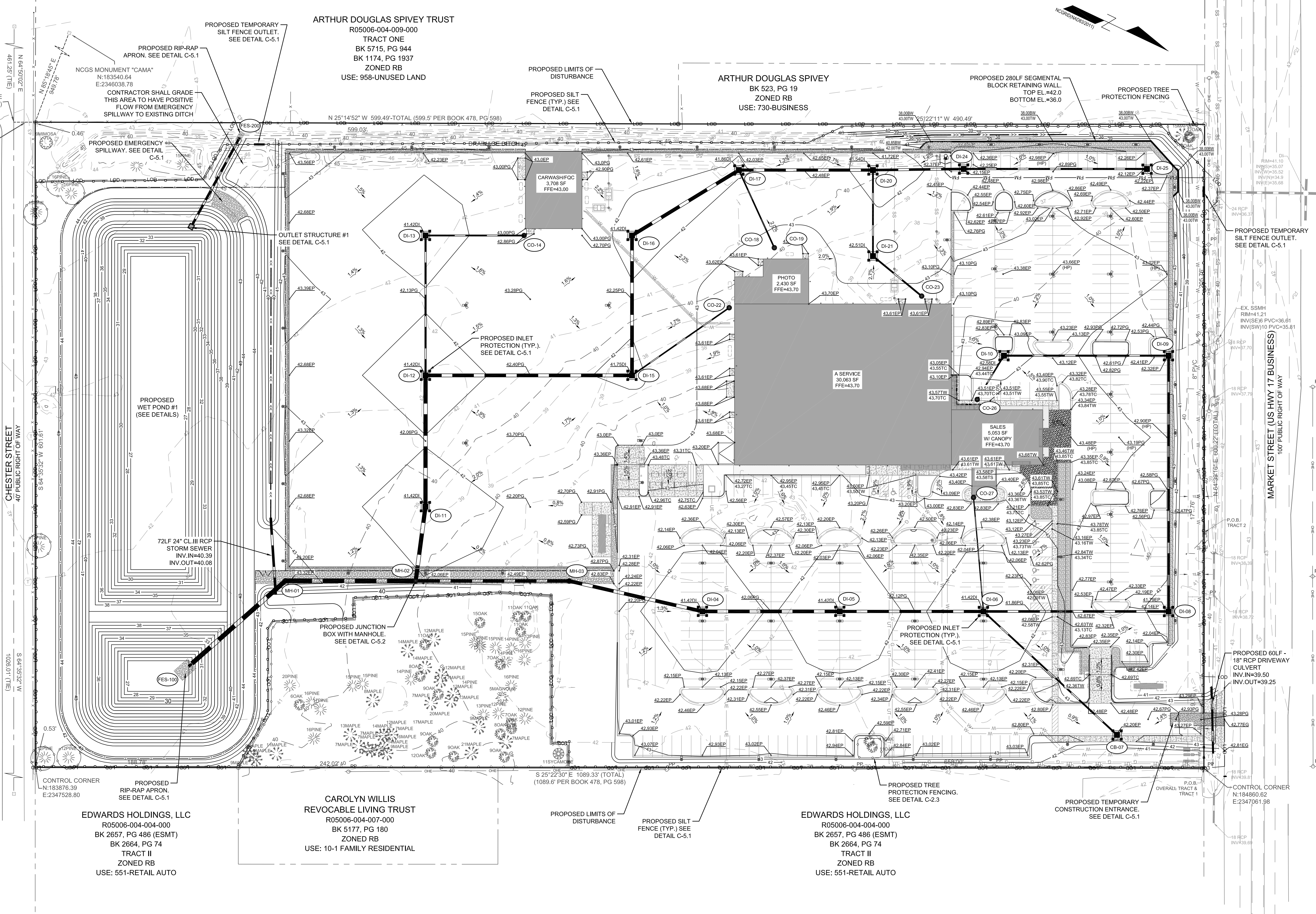


ASPHALT AREA NOTE:
 1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:
 1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH STRUCTURAL DRAWINGS.

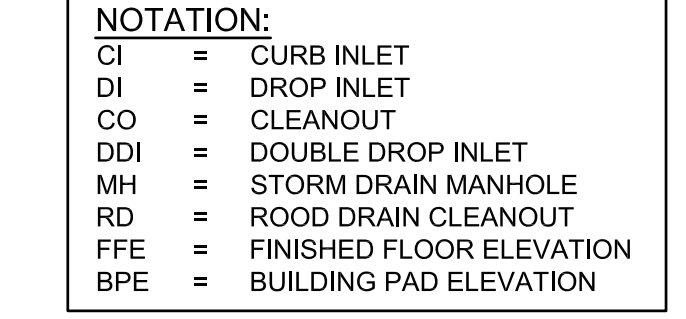
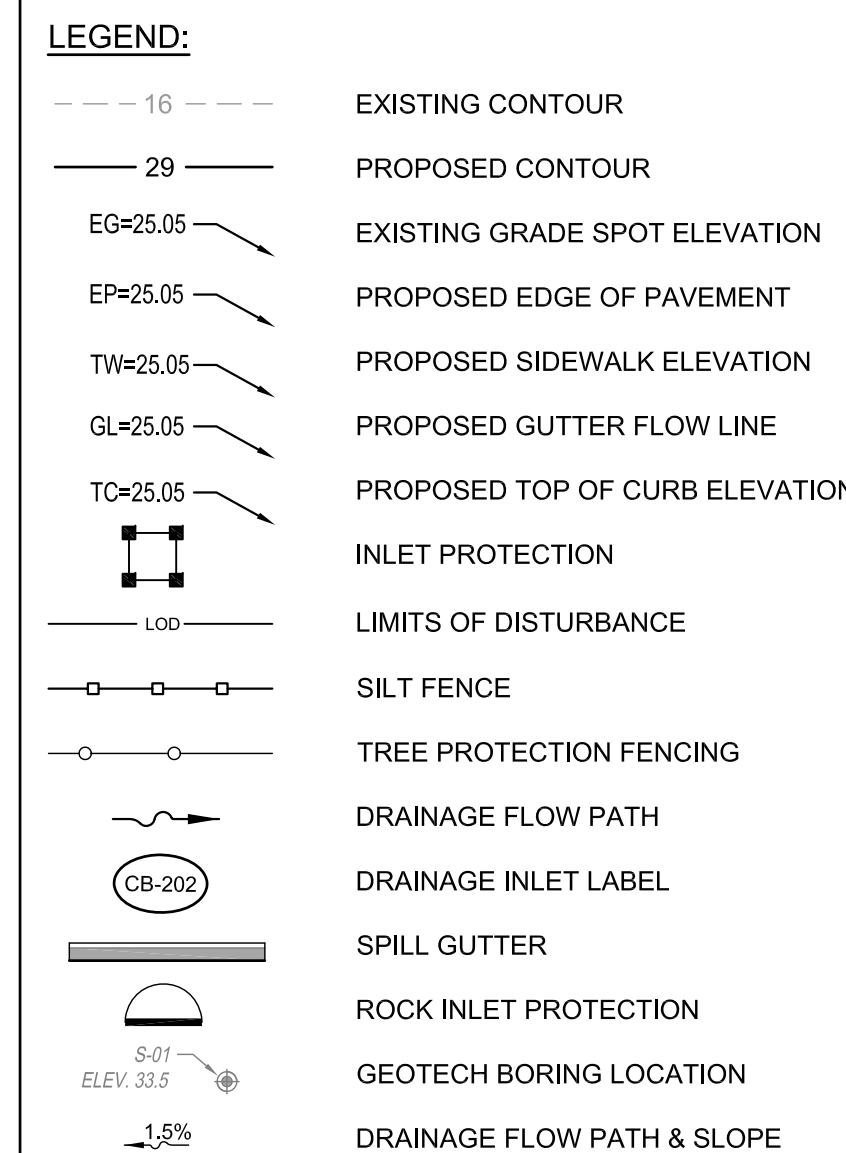
STORMWATER NOTE:
 1. THIS PROJECT DRAINS TO A PROPOSED ON-SITE STORM WET DETENTION BASIN.
 2. ONCE SITE IS STABILIZED AND SEDIMENT BASIN IS CONVERTED TO WET DETENTION BASIN, CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM BASIN AND RESTORE TO DESIGN ELEVATIONS.

GENERAL NOTES:
 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PARKING LOT IS PAVED.
 3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
 4. ALL PROPOSED SPOT ELEVATIONS SHOWN IN THE PARKING LOT ARE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB @ GUTTER FOR CURB SECTIONS, UNLESS NOTED OTHERWISE.
 5. ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION FIRST.
 6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.
 8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING REPORT FOR CARMAX - WILMINGTON, NC (CAPE FEAR), PREPARED BY ECS CAROLINAS, LLP, PROJECT NUMBER: 22-22866-REVISED, AND DATED AUGUST 20, 2015 FOR SITE CONSTRUCTION RECOMMENDATIONS.
 9. CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.



STORM SEWER SCHEDULE:

Upstream Node	Downstream Node	Diameter (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material
CO-14	DI-13	15	33.2503	32.79	92	0.50	42.9	41.42	CL. III RCP
DI-13	DI-12	18	32.79	32.14	130	0.50	41.42	41.42	CL. III RCP
DI-12	DI-11	42	32.14	31.52	122	0.50	41.42	41.42	CL. III RCP
DI-11	MH-02	42	31.52	31.15	70	0.54	41.42	42.15	CL. III RCP
MH-02	MH-01	48	31.15	30.46	121	0.57	42.15	43.35	CL. III RCP
MH-01	FES-100	48	30.46	27.50	116	2.54	43.35	38.00	CL. III RCP
CO-18	DI-17	12	39.42	36.84	80	3.24	43.50	41.86	HDPE
DI-17	DI-16	36	34.84	34.25	117	0.50	41.86	41.42	CL. III RCP
DI-16	DI-15	36	34.25	33.60	130	0.50	41.42	41.75	CL. III RCP
DI-15	DI-12	36	33.60	32.64	192	0.50	41.75	41.42	CL. III RCP
CO-22	DI-15	12	37.12	36.29	110	0.75	43.50	41.75	HDPE
CO-23	DI-21	15	36.15	35.86	59	0.50	43.50	42.51	CL. III RCP
DI-21	DI-20	15	35.86	35.46	80	0.50	42.51	41.54	CL. III RCP
DI-20	DI-17	30	35.46	34.84	125	0.50	41.54	41.86	CL. III RCP
CO-26	DI-10	12	40.00	35.94	48	8.49	43.55	42.58	HDPE
DI-10	DI-09	18	35.94	35.45	153	0.32	42.58	42.32	CL. III RCP
DI-09	DI-08	24	35.45	34.36	238	0.46	42.32	41.79	CL. III RCP
DI-08	DI-06	24	34.36	33.77	173	0.34	41.79	41.42	CL. III RCP
DI-06	DI-05	30	33.77	33.13	134	0.48	41.42	41.42	CL. III RCP
DI-05	DI-04	36	33.13	32.46	128	0.52	41.42	41.42	CL. III RCP
DI-04	MH-03	36	32.46	31.82	127	0.50	41.42	43.25	CL. III RCP
MH-03	MH-02	36	31.82	31.15	143	0.47	43.25	42.15	CL. III RCP
CO-27	DI-06	8	39.50	38.97	107	0.50	43.50	41.42	HDPE
DI-07	DI-06	15	34.61	33.77	169	0.50	42.20	41.42	CL. III RCP
DI-25	DI-24	18	36.70	36.16	171	0.32	42.12	42.12	CL. III RCP
DI-24	DI-20	24	36.16	35.46	85	0.83	42.12	41.54	CL. III RCP



WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

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Fire _____

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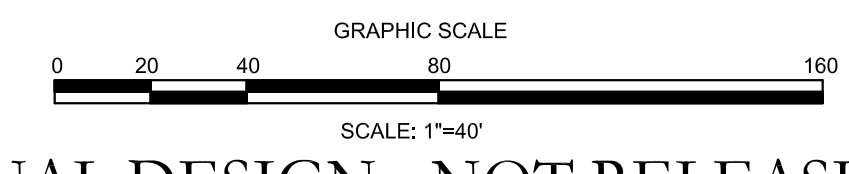
WATER CAPACITY: _____ GPD

DWO SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEEL: YES or NO (CIRCLE ONE)



RELEASED FOR CONSTRUCTION

LATEST DATE: DA17-004/PC17-006

DRAWN BY: RPB

CHECKED BY: RPB

REV#	DATE	DESCRIPTION	BY
07	MAR 17	CHECKPOINT #1	
11	APR 17	CHECKPOINT #2	
25	APR 17	100% DISTRIBUTION	

CARMAX
 THE AUTO SUPERSTORE

PROJECT NO. 20-15081.02

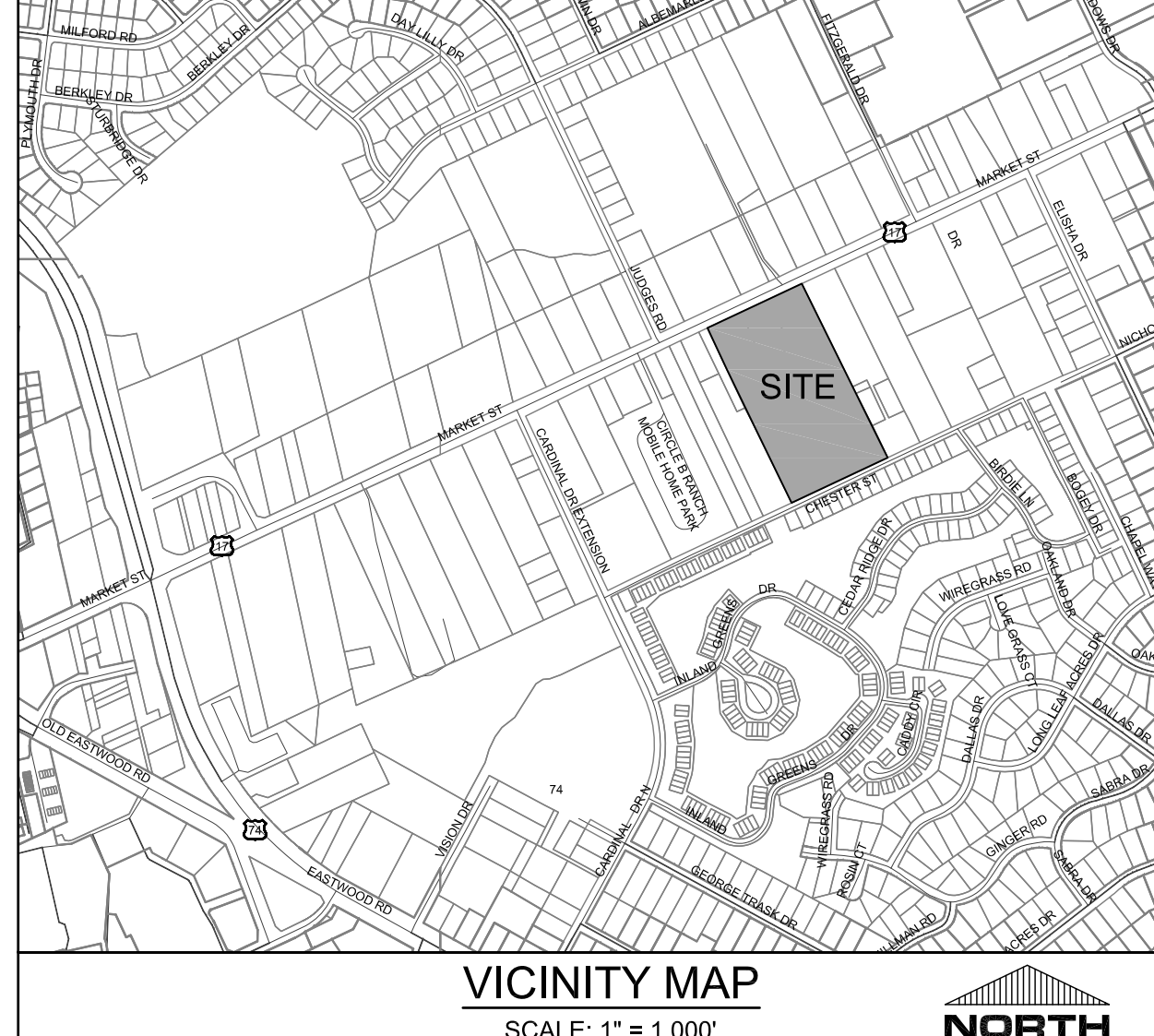
DATE 25 APR 17

SHEET TITLE GRADING-DRAINAGE-PH. II EC PLAN

SHEET NO. C-3.1

STORE NUMBER 6022
 6030 MARKET STREET
 WILMINGTON, NC 28405

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



VICINITY MAP
SCALE: 1" = 1,000'

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 URBAN
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 EXISTING LAND USE: UNDEVELOPED
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LANDSCAPE CALCULATIONS

REQUIRED FOUNDATION PLANTINGS (BLDG LENGTH X BLDG HGT) X 12%
 EASTERN SIDE: (286 X 28) X 0.12 = 960 SF REQUIRED
 PROVIDED: 1,330 SF

NORTHERN/WESTERN SIDES: (136 X 28) X 0.12 = 457 SF REQUIRED
 PROVIDED: 530 SF

STREETYARD CALCULATIONS

REQUIRED PRIMARY STREETYARD (LENGTH OF FRONTAGE - DRIVEWAY) X 25%
 REQUIRED: (600 - 30) X 25 = 14,375 SF
 PROVIDED: 14,375 SF

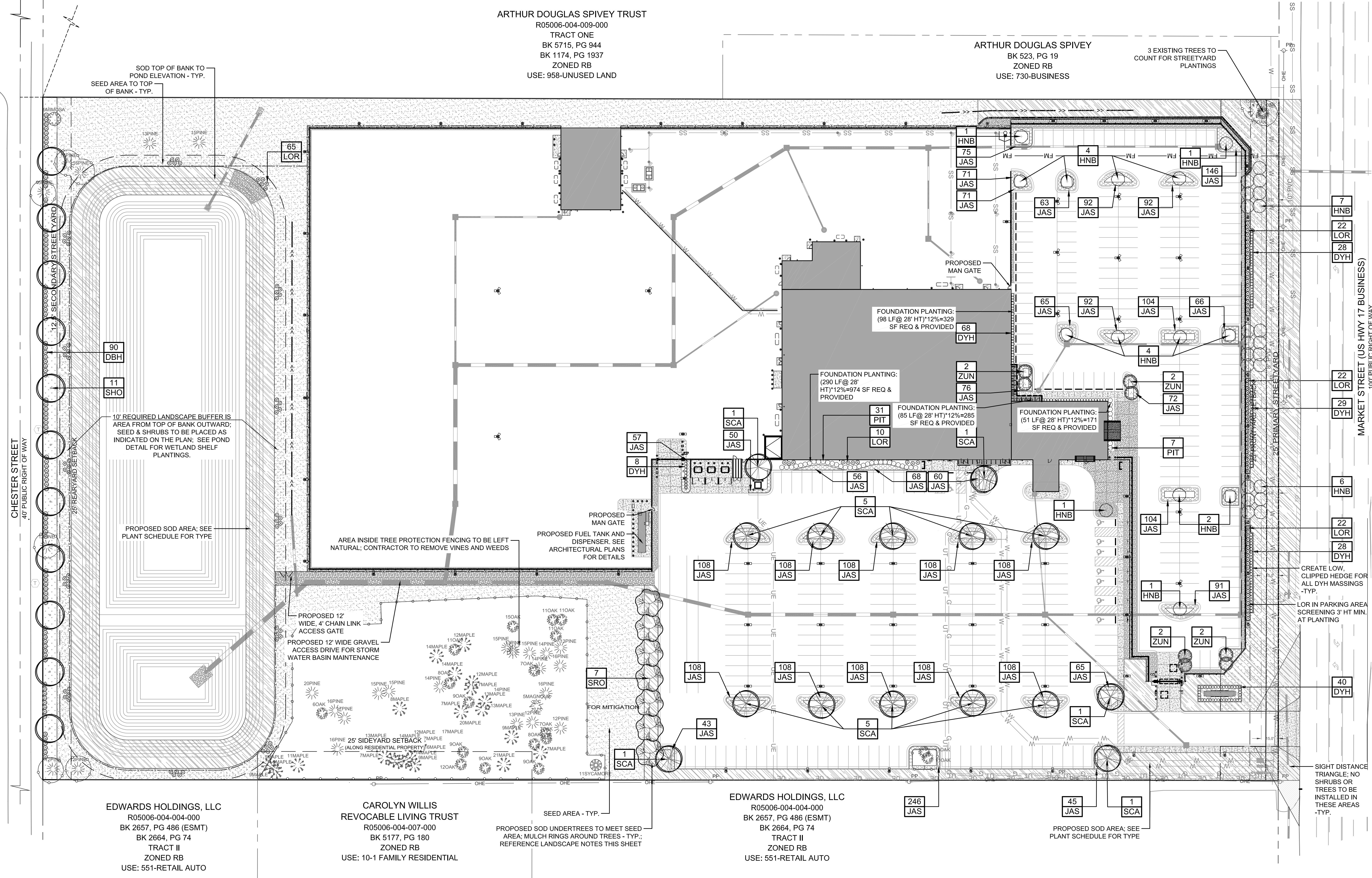
REQUIRED SECONDARY STREETYARD (LENGTH OF FRONTAGE - DRIVEWAY) X 12.5%
 REQUIRED: 600 X 12.5 = 7,500 SF
 PROVIDED: 7,512 SF

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - TREES SHALL BE LOCATED NO CLOSER THAN 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
 - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 - NO TREES OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
 - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. ALL SINGLE TREES (INCLUDING BOTH PROPOSED AND EXISTING TREES) SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
 - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY. THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
 - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND. IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
 - IF IRRIGATION IS REQUIRED, PLANS AND SPECIFICATIONS FOR THE IRRIGATION DESIGN SHALL BE SUBMITTED TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF THE MATERIALS.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDDED.
 - ALL LANDSCAPE ISLANDS ARE NOT TO BE SEEDDED. LANDSCAPE ISLANDS TO BE MULCHED AS PER OWNER OR OWNER'S REPRESENTATIVE SPECIFICATION.
 - ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.

PLANT SCHEDULE

TREES	QTY	COMMON NAME	SIZE	
HNB	35	PYRAMIDAL EUROPEAN HORNBEAN CARPINUS BETULUS 'FASTIGIATA'	2.5' CAL	
SCA	15	SCARLET OAK QUERCUS COCCINEA	2.5' CAL.	
SHO	11	SHUMARD RED OAK QUERCUS SHUMARDII	2.5' CAL.	
SRO	7	SOUTHERN RED OAK QUERCUS FALCATA	3' CAL.	
FLOWERING TREES	QTY	COMMON NAME	SIZE	
ZUN	8	TREE CRAPE MYRTLE LAGERSTROEMIA X 'ZUNI'	10' - 12' H	
SHRUBS	QTY	COMMON NAME	CONT	
DBH	90	DWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDII NANA'	7 GAL	
DYH	202	BORDEAUX HOLLY ILEX VOMITORIA 'BORDEAUX'	7 GAL	
LOR	141	RUBY LOROPETALUM LOROPETALUM C. 'RUBY'	7 GAL	
PIT	38	DWARF PITTOSPORUM PITTOSPORUM TOBIIRA 'WHEELER'S DWARF'	7 GAL	
GROUND COVERS	QTY	COMMON NAME	CONT	SPACING
JAS	3,161	ASIATIC JASMINE TRACHELOSPERMUM A. 'ASIATIC'	4" POT	18" o.c.
SOD/SEED	QTY	COMMON NAME	CONT	SPACING
SEED	65,972 SF	BERMUDA GRASS CYNODON DACTYLON 'TIF 419'	SEED	
SOD	73,380 SF	BERMUDA GRASS CYNODON DACTYLON 'TIF 419'	SOD	

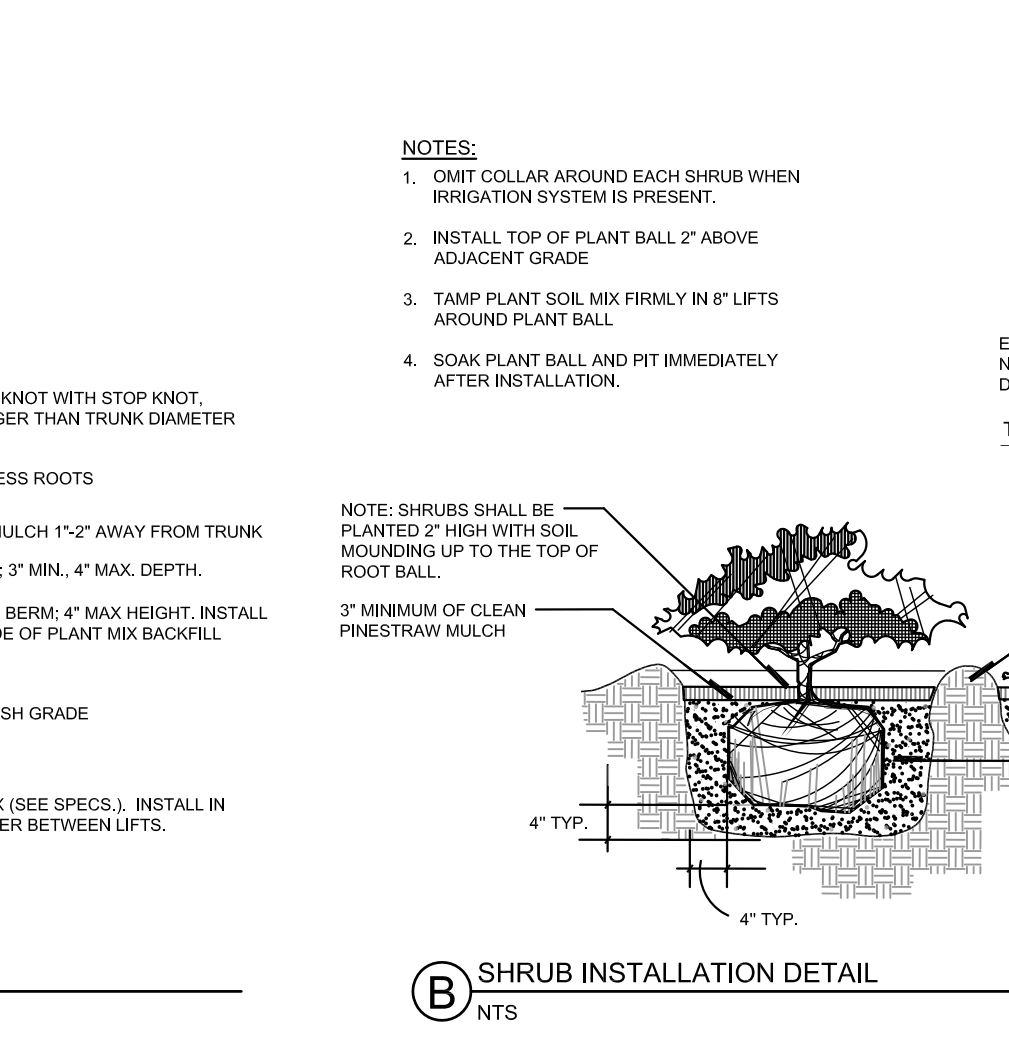
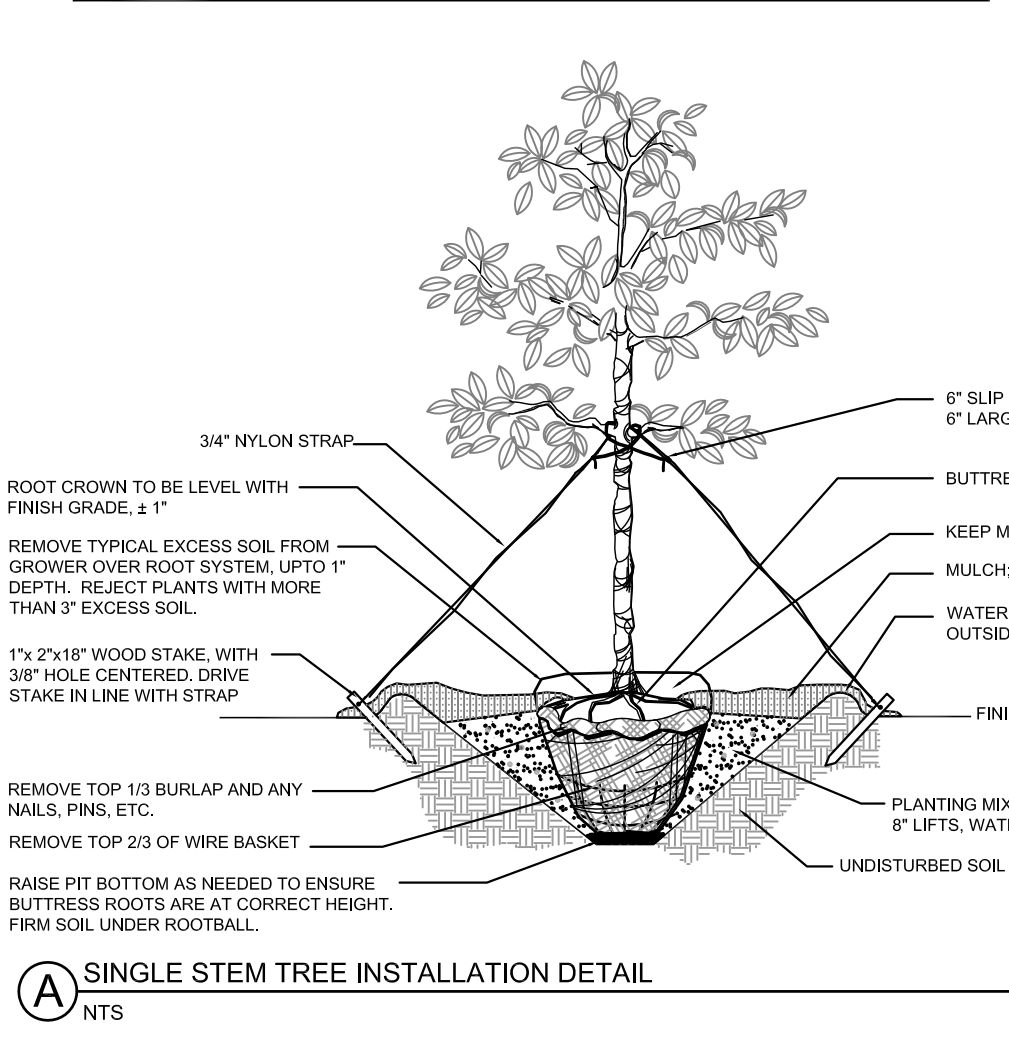
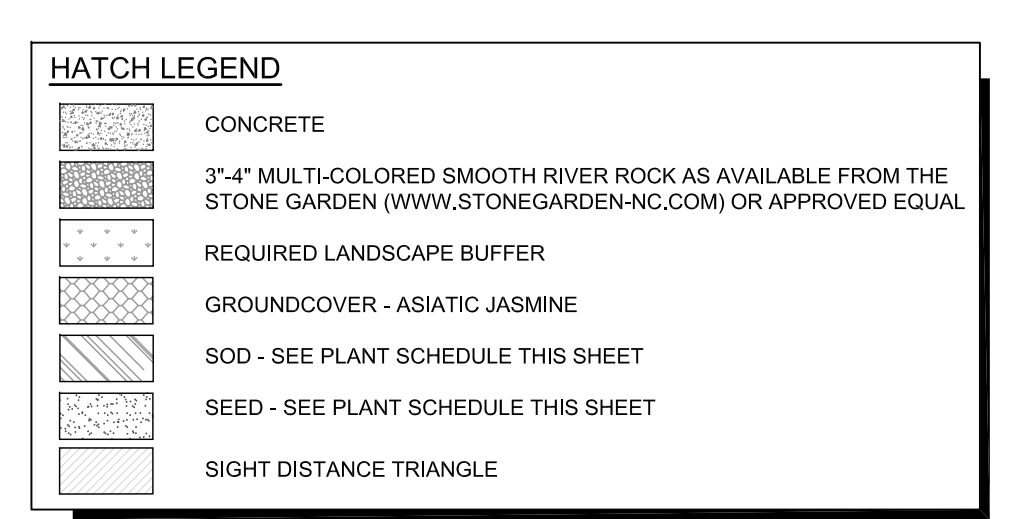
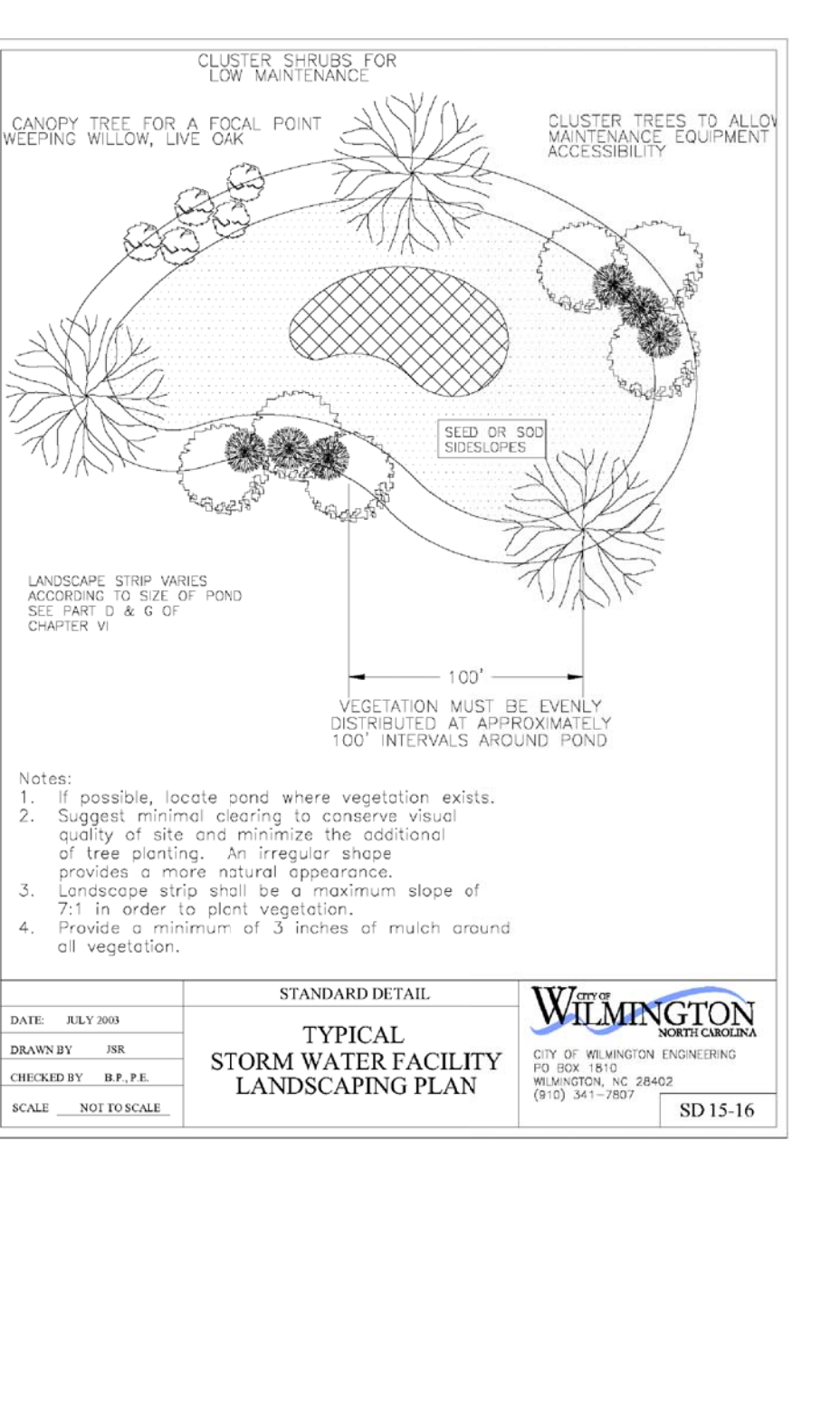
TREE NOTES:
 1. ALL TREES EXCEPT ZUNI CRAPE MYRTLES ARE LARGE SHADE TREES.
MULCH NOTES:
 1. ALL MULCH SHALL BE PINE STRAW APPLIED AT 3" THICK MIN., 4" THICK MAX.



PARKING LANDSCAPE CALCULATIONS:

SHADING REQUIREMENTS:
 PROVIDED: 4.05 AC X 20 = 81 AC REQUIRED
 0.97 AC OR 42,262 SF
 58 LARGE CANOPY @ 707 SF = 41,006 SF
 OR 0.94 AC
 4 SMALL CANOPY @ 314 SF = 1,256 SF
 OR 0.03 AC
 1 CANOPY TREE / ISLAND, GROUNDCOVER OR SHRUBS

PARKING REQUIREMENTS:
 PARKING WITHIN 50' OF RIGHT OF WAY REQUIRES SHRUB BUFFER



ARTHUR DOUGLAS SPIVEY TRUST
 R05006-004-009-000
 TRACT ONE
 BK 5715, PG 944
 BK 1174, PG 1937
 ZONED RB
 USE: 958-UNUSED LAND

ARTHUR DOUGLAS SPIVEY
 BK 523, PG 19
 ZONED RB
 USE: 730-BUSINESS

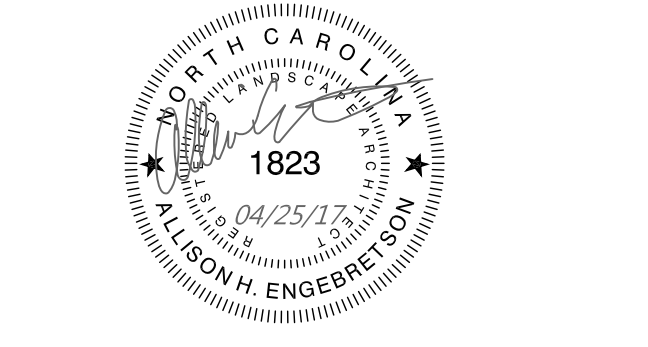
EDWARDS HOLDINGS, LLC
 R05006-004-004-000
 BK 2657, PG 486 (ESMT)
 BK 2664, PG 74
 TRACT II
 ZONED RB
 USE: 551-RETAIL AUTO

CAROLYN WILLIS
 REVOCABLE LIVING TRUST
 R05006-004-007-000
 BK 5177, PG 180
 ZONED RB
 USE: 10-1 FAMILY RESIDENTIAL

EDWARDS HOLDINGS, LLC
 R05006-004-004-000
 BK 2657, PG 486 (ESMT)
 BK 2664, PG 74
 TRACT II
 ZONED RB
 USE: 551-RETAIL AUTO

PARAMOUNT ENGINEERING
 122 Linema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 N.C. License # C-2846

SFS/ A
 SVC/ FQC
 100%
 DISTRIBUTION



RELEASED FOR CONSTRUCTION

LATEST DATE: DA17-004/PC17-006
 DRAWN BY: JCM
 CHECKED BY: RPB

REV#	DATE	DESCRIPTION	BY
07	MAR 17	CHECKPOINT #1	
11	APR 17	CHECKPOINT #2	
25	APR 17	100% DISTRIBUTION	

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____
 Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Know what's below. Call before you dig.

NCDEM RWSS WATER PERMIT #:
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #:
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT:
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CARMAX THE AUTO SUPERSTORE
 STORE NUMBER 6022
 6030 MARKET STREET
 WILMINGTON, NC 28405

PROJECT NO. 20-15081.02
 DATE 25 APR 17
 SHEET TITLE LANDSCAPE PLAN
 SHEET NO. L-1.0